

Hume Community Housing, General Housing Development
31-37 Phillip Street, Raymond Terrace, NSW Lots 129, 130, 151, DP 31774
Preliminary Development Application Issue

DA Submission

Notification Neighbour

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Landscape Drawing Schedule

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Civil Drawing Schedule

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Survey Drawing Schedule

B2286DET-A A	Sheet 1 of 1
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Not To Scale



DEVELOPMENT DATA - TOWNHOUSES (HUME)				
ADDRESS	31-37 Phillip Street, Raymond Terrace			
SITE AREA	1126.0m2			
NUMBER OF EXISTING LOTS	Lots 129-130,151 DP 31774			
GFA	Land Zoning: R2			
	Ground Floor	301.35	m2	
	First Floor	258.71	m2	
	TOTAL	561.06	m2	
	GFA* measured to inner face of external enclosing wall, excluding garages.			
NUMBER OF DWELLINGS	7 Apartments - 7x 2 Bed			
DWELLING AREAS	Number	Type*	Beds	Area* (m²)
	H1	Livable	2	80.24
	H2	Livable	2	80.24
	H3	Livable	2	79.62
	H4	Livable	2	80.24
	H5	Livable	2	80.24
	H6	Livable	2	80.24
	H7	Livable	2	80.24
*area = measured to internal face of external wall including internal walls.				
BUILDING HEIGHT	Port Stephens LEP	Requirement	9m	Proposed 6.9m
FSR	Port Stephens LEP	Requirement	N/A	0.50 : 1 (561.06 m2)
PARKING	SEPP (Housing) (non-accessible)	Requirement	0.5 space per 1 bed = 0	7 spaces
		Requirement	1 space per 2 bed = 7	
		Requirement	1.5 space per 3 bed = 0	
		Requirement	total spaces required = 7	
SETBACKS	Port Stephens DCP	Front:	Primary Road = 4.5m Secondary Road = 3m	4.5m N/A
		Side:	Ground Level = 0.9m First Level = 3m	3m 3m
		Rear:	4m	4.5m
LANDSCAPE	SEPP (Housing)	Requirement	Required: The lesser of - (i) 35m2 x 7 units = 245m2 (ii) 30% of the site area = 332m2	Total area: 292.8m2. This exceeds a min. 35m2 per dwelling
DEEP SOIL	SEPP (Housing)	Requirement	15% of lot area, min 3m x 3m = 167.87m2 2/3 of area at rear = 111.91m2	182.35m2 / 1,108.94m2 = 16.44% of the site area. 114.55m2 at rear
SOLAR ACCESS	Low Rise Housing Diversity Design Guide	Requirement	The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9am and 3pm on the winter solstice (21 June).	Living - 7/7 = 100% POS - 7/7 = 100%
PRIVATE OPEN SPACE (POS)	Port Stephens DCP	Requirement	16m2 min area min dimension 4m x 4m	7/7 units 5/7 units

DEVELOPMENT DATA - TOWNHOUSES (LAHC)				
ADDRESS	31-37 Phillip Street, Raymond Terrace			
SITE AREA	666.6m2			
NUMBER OF EXISTING LOTS	Lots 129-130,151 DP 31774			
GFA	Land Zoning: R2			
	Ground Floor	271.91	m2	
	First Floor	242.04	m2	
	TOTAL	513.95	m2	
	GFA* measured to inner face of external enclosing wall, excluding garages.			
NUMBER OF DWELLINGS	6 Apartments - 6x 2 Bed			
DWELLING AREAS	Number	Type*	Beds	Area* (m²)
	L1	Livable	2	82.27
	L2	Livable	2	82.21
	L3	Livable	2	82.27
	L4	Livable	2	82.29
	L5	Livable	2	88.71
	L6	Livable	2	96.2
	*area = measured to internal face of external wall including internal walls.			
BUILDING HEIGHT	Port Stephens LEP	Requirement	9m	Proposed 6.9m
FSR	Port Stephens LEP	Requirement	N/A	0.77 : 1 (568.85 m2)
PARKING	SEPP (Housing) (non-accessible)	Requirement	0.5 space per 1 bed = 0	2 spaces
		Requirement	1 space per 2 bed = 6	
		Requirement	1.5 space per 3 bed = 0	
		Requirement	total spaces required = 6	
SETBACKS	Port Stephens DCP	Front:	Primary Road = 4.5m Secondary Road = 3m	4.5m 3m
		Side:	Ground Level = 0.9m First Level = 3m	0.3m 0.3m
		Rear:	4m	3m
LANDSCAPE	SEPP (Housing)	Requirement	Required: The lesser of - (i) 35m2 x 6 units = 210m2 units OR (ii) 30% of the site area = 205m2	Total area: 134.53m2 this is below requirements
DEEP SOIL	SEPP (Housing)	Requirement	(i) 15% of lot area, min 3m x 3m = 102m2 (ii) 65% at the rear if practical = 66m2	25.64m2 (3.75% of site area) 0m2 at rear
SOLAR ACCESS	Low Rise Housing Diversity Design Guide	Requirement	The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9am and 3pm on the winter solstice (21 June).	Living - 6/6 = 100% POS - 5/6 = 83%.
PRIVATE OPEN SPACE (POS)	Port Stephens DCP	Requirement	16m2 min area min dimension 4m x 4m	6/6 units 2/6 units



Hume Community Housing

General Housing Development

31-37 Phillip Street,
Raymond Terrace, NSW

Drawn; MP/RS/RC
Checked; ML/AT
Plot date; 16/1/2025

Scale;@ AI

Project No;
2881.23

Drawing No; DA00
Revision#; P24

Cover Sheet &
Location Plan



1 - External view at 31 Phillip Street facing south-west



2 - East facing views down Phillip Street



3 - Street view towards 29 Phillip Street from 31 Phillip Street



4 - North facing street view at 35 Phillip Street



1 Site & Block Analysis Plan
1:200



9 - External view at 35 Phillip Street facing south



8 - External view at 37 Phillip Street facing west



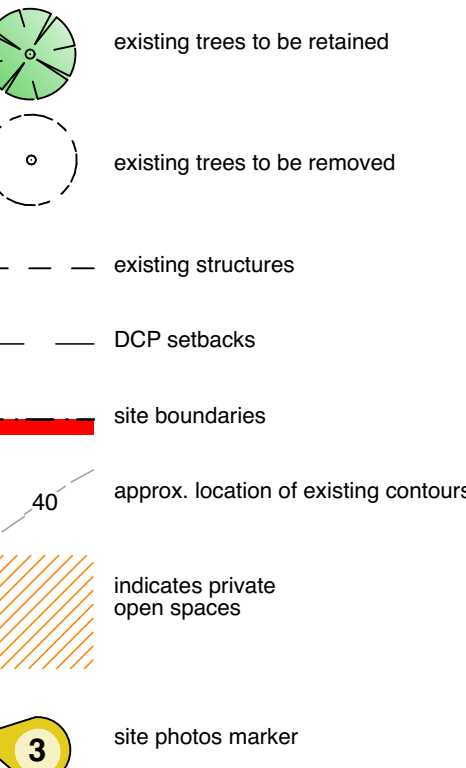
7- West facing view from Windsor Street



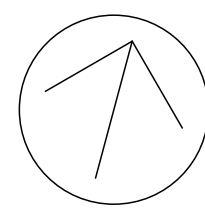
6 - North-west facing views from the corner of Phillip Street and Windsor Street

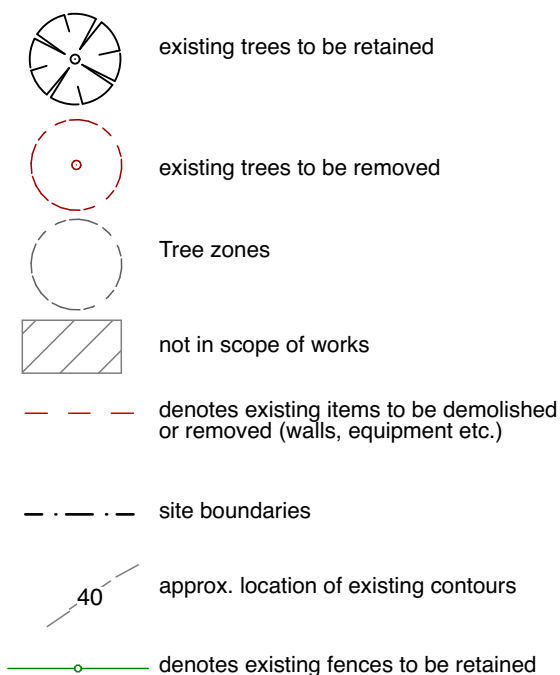


5 - Street view at 37 Phillip Street facing north-east

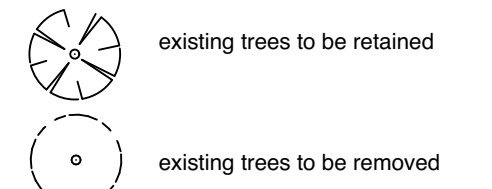


- Gosford High School (400m)
- Gosford Public School (900m)
- Gosford Hospital (500m)
- Medical Centre (70m)
- Bus @ Hills Street (70m)
- Gosford Town Centre (200m)
- Gosford Train Station (230m)
- Rumbalara Reserve (100m)



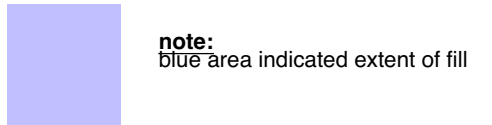


Legend cut & fill plan
note: drawing may not contain all items listed below



outline of new buildings

site boundaries

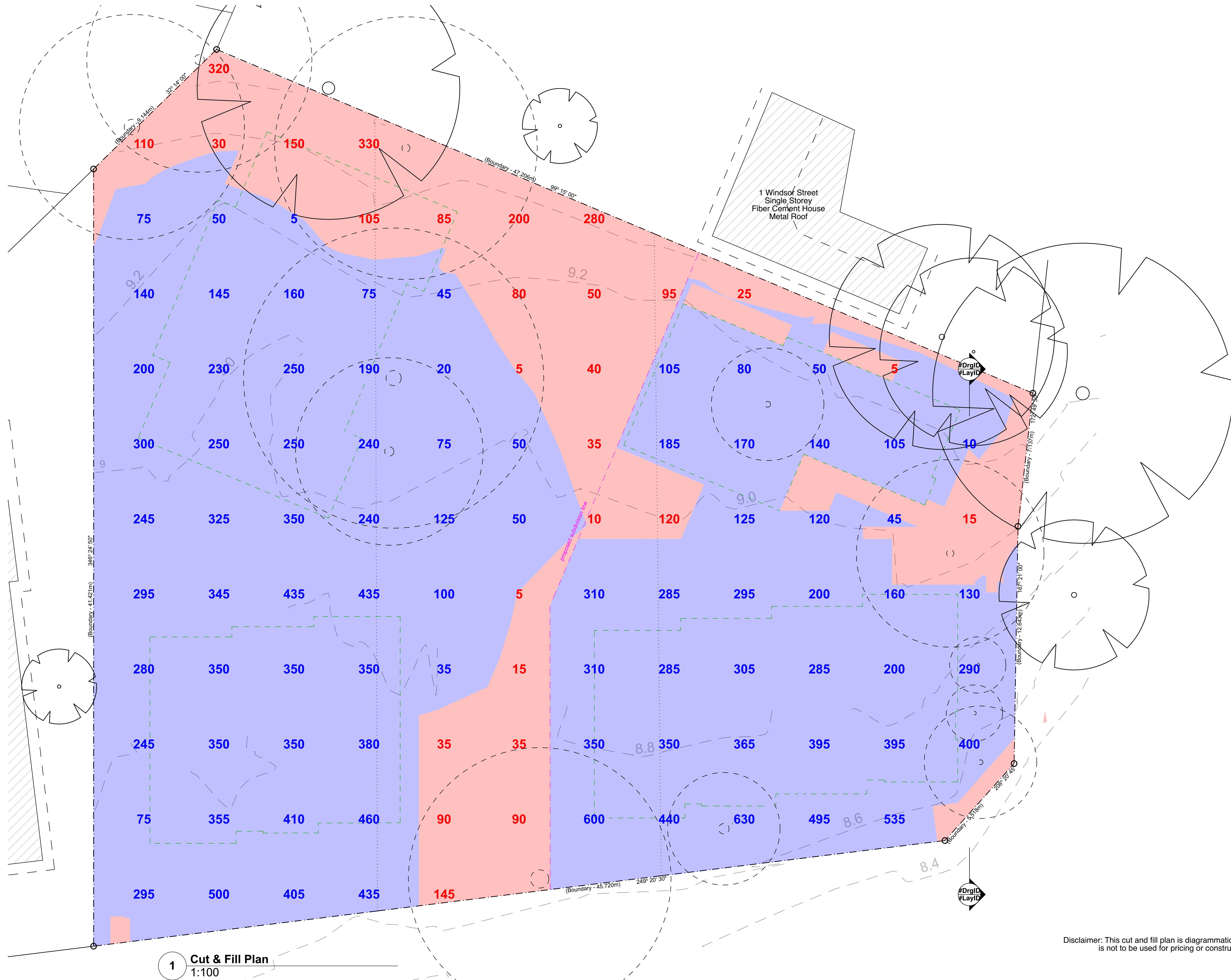


note: red area indicated extent of cut

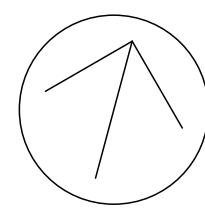
150 approx. depth of fill in millimetres

150 approx. depth of cut in millimetres

40 approx. location of existing contours



1 Cut & Fill Plan
1:100



P24	09/01/2025	Client Coordination	Project Architect:
			Stanton Dahl Architects
			Tel: (02) 8544 1683
Rev	Date	Issue	Landscape Consultant:
			Botanique Design
			Mob: 0404 887 620

do not scale drawings. check all dimensions on site.
figured dimensions take precedence.

Civil and Stormwater, Traffic, Flood
Consultant:
Greenview Consulting
Ph: (02) 8544 1683
Electrical, Mechanical, Hydraulic, Structural
Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

**Stanton
Dahl
Architects**

Project:
General Housing Development
at
**31-37 Phillip Street, Raymond
Terrace**

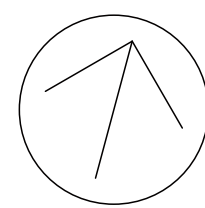
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Raymond Terrace_subd

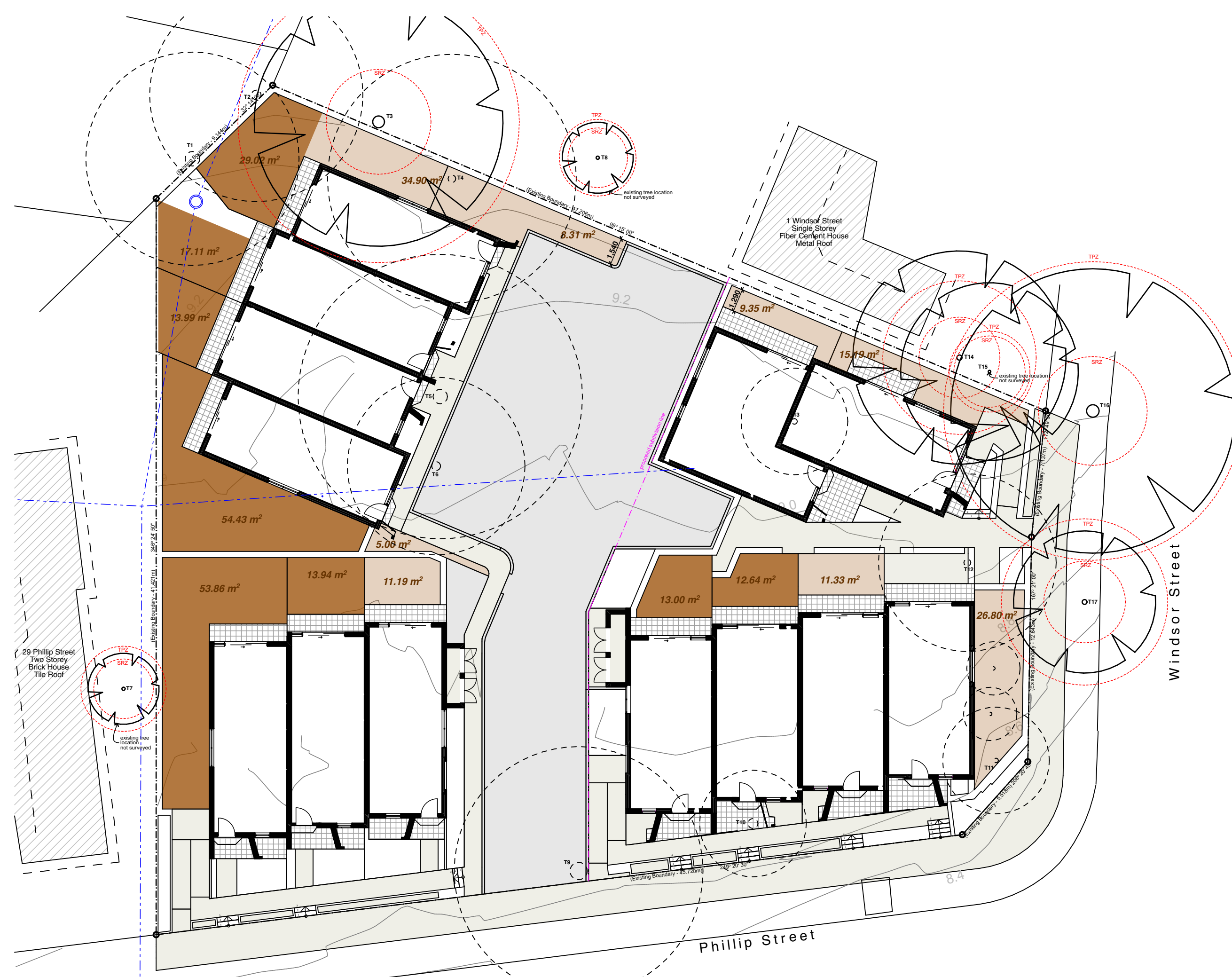
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Status: Preliminary Development Application Issue
Date: 16/1/2025 Scale: 1:100 @ AI S/d job no: # # # # # Project no: 2881.23
Stage: MP/RS/RC ML/AT ML/AT
Sheet: 4 of 33 P24



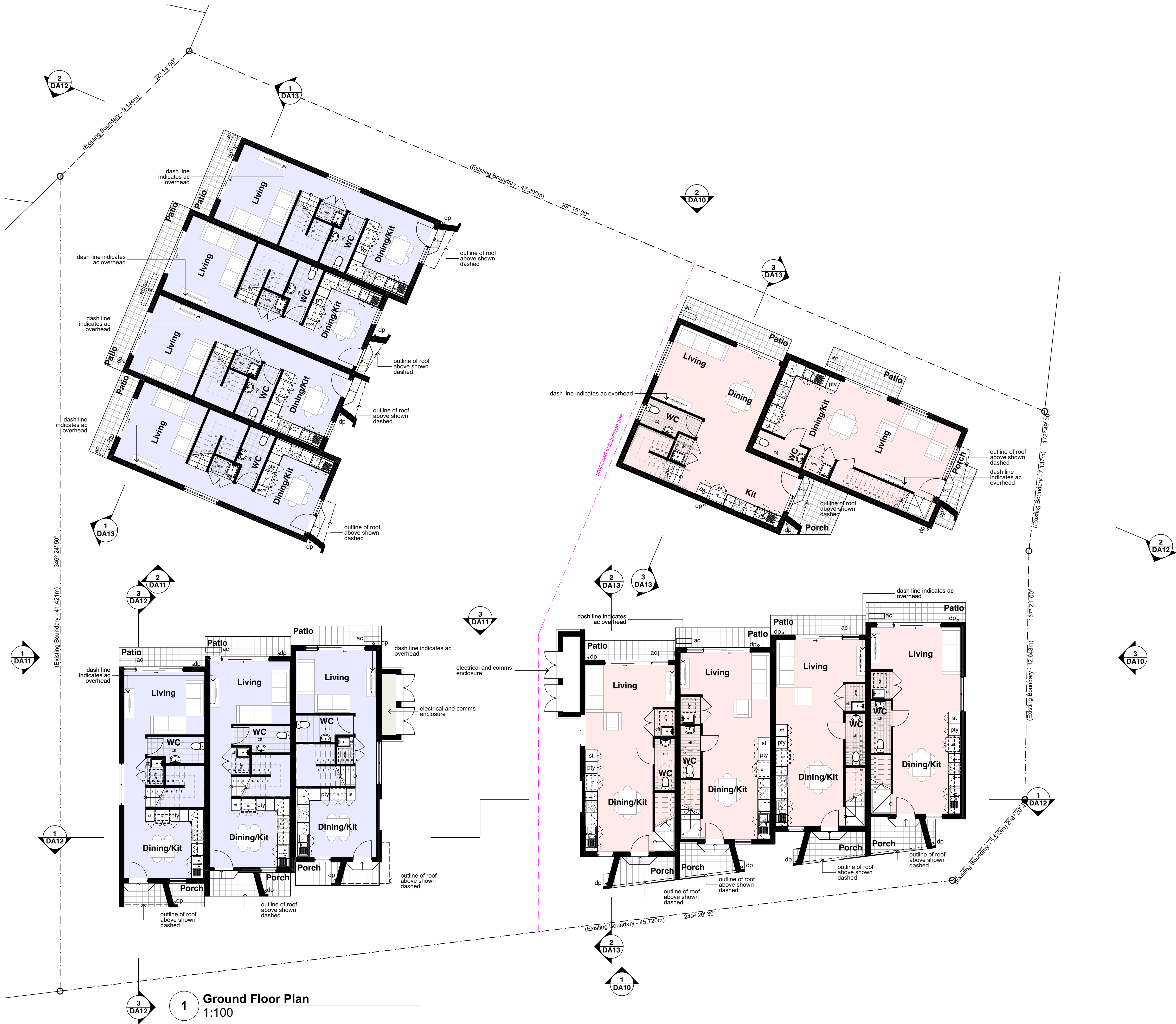
- Legend** (external work / site plan)
note: drawing may not contain all items listed below
- 64 ex.contours & banking line
 - existing trees to be removed
 - existing trees to be retained
 - proposed trees
 - proposed planting
 - proposed turf
 - ex. RL00.00 → existing levels
 - RL00.00 → proposed levels
 - +39.000 proposed spot levels
 - dp downpipe
 - ex. existing
 - ftl finished floor level
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - hr(1) handrail (type)
 - kr kerb ramp
 - lb letter box
 - pos private open space
 - pp power pole
 - rw(1) retaining wall (type)
 - rwo rainwater outlet
 - rwt rainwater tank
 - swp storm water pit
 - tow top of wall



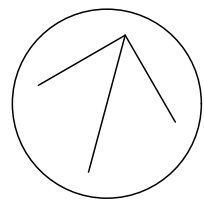


2 Deep Soil Diagram
1:200

<p>According to the current SEPP (Housing) Guidelines, as of 15 March 2024, the following are non-discretionary development standards in relation to the residential development to which this division applies—</p> <p>a deep soil zone on at least 15% of the site area, where—</p> <p>(i) each deep soil zone has minimum dimensions of 3m, and</p> <p>(ii) if practicable, at least 65% of the deep soil zone is located at the rear of the site</p>	
<p>HUME</p>	<p>LAHC</p>
<p>(i) Required: 15% of the site area = 166m²</p> <p>Proposed Total Area: 182.35m²</p> <p>182.35m² / 1,108.94m² = 16.44% of the site area. <i>Note - the site area is calculated per subdivision lot</i></p> <p><i>This exceeds the min. requirement of 15% of the site area.</i></p> <p>(ii) 65% at the rear if practical = 148m²</p> <p>Proposed area located at the rear = 114.55m² <i>Note - consideration has been given to the location of a carpark and subdivision of LAHC and Hume blocks</i></p>	<p>(i) Required: 15% of the site area = 102m²</p> <p>Proposed Total Area: 25.64m²</p> <p>25.64m² / 684.54m² = 3.75% of the site area. <i>Note - the site area is calculated per subdivision lot</i></p> <p><i>This is below the min. requirement of 15% of the site area.</i></p> <p>(ii) 65% at the rear if practical = 66m²</p> <p>Proposed area located at the rear = 0m² <i>Note - consideration has been given to the location of a carpark and subdivision of LAHC and Hume blocks</i></p>



- Legend** (floor plans)
- note: drawing may not contain all items listed below
- door numbers (as scheduled)
(prefix ex. for existing door)
 - window numbers (as scheduled)
(prefix ex. for existing window)
 - wall type (as scheduled)
 - ac air conditioner condenser
 - amb ambulant
 - brn broom cupboard
 - bsn basin
 - ctf(1) ceramic floor tile (type)
 - comms communication cabinet
 - cpt(1) carpet (type)
 - dp downpipe
 - edb electrical distribution box
 - eg eaves gutter
 - ex. existing
 - fs fridge space
 - hr(1) handrail (type)
 - hwu hot water unit
 - lb letter box
 - lin linen cupboard
 - mw microwave
 - pty pantry
 - ref refrigerator
 - robe wardrobe
 - srk sink
 - shr shower
 - st store
 - wh window hood
 - wm washing machine space



Legend (floor plans)

note: drawing may not contain all items listed below

001 door numbers (as scheduled)
(prefix ex. for existing door)

W01 window numbers (as scheduled)
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser

amb ambulant

brn broom cupboard

bsn basin

cft(1) ceramic floor tile (type)

comms communication cabinet

cpt(1) carpet (type)

dp downpipe

edb electrical distribution box

eg eaves gutter

ex. existing

fs fridge space

ht(1) handrail (type)

hwu hot water unit

lb letter box

lin linen cupboard

mw microwave

pty pantry

ref refrigerator

robe wardrobe

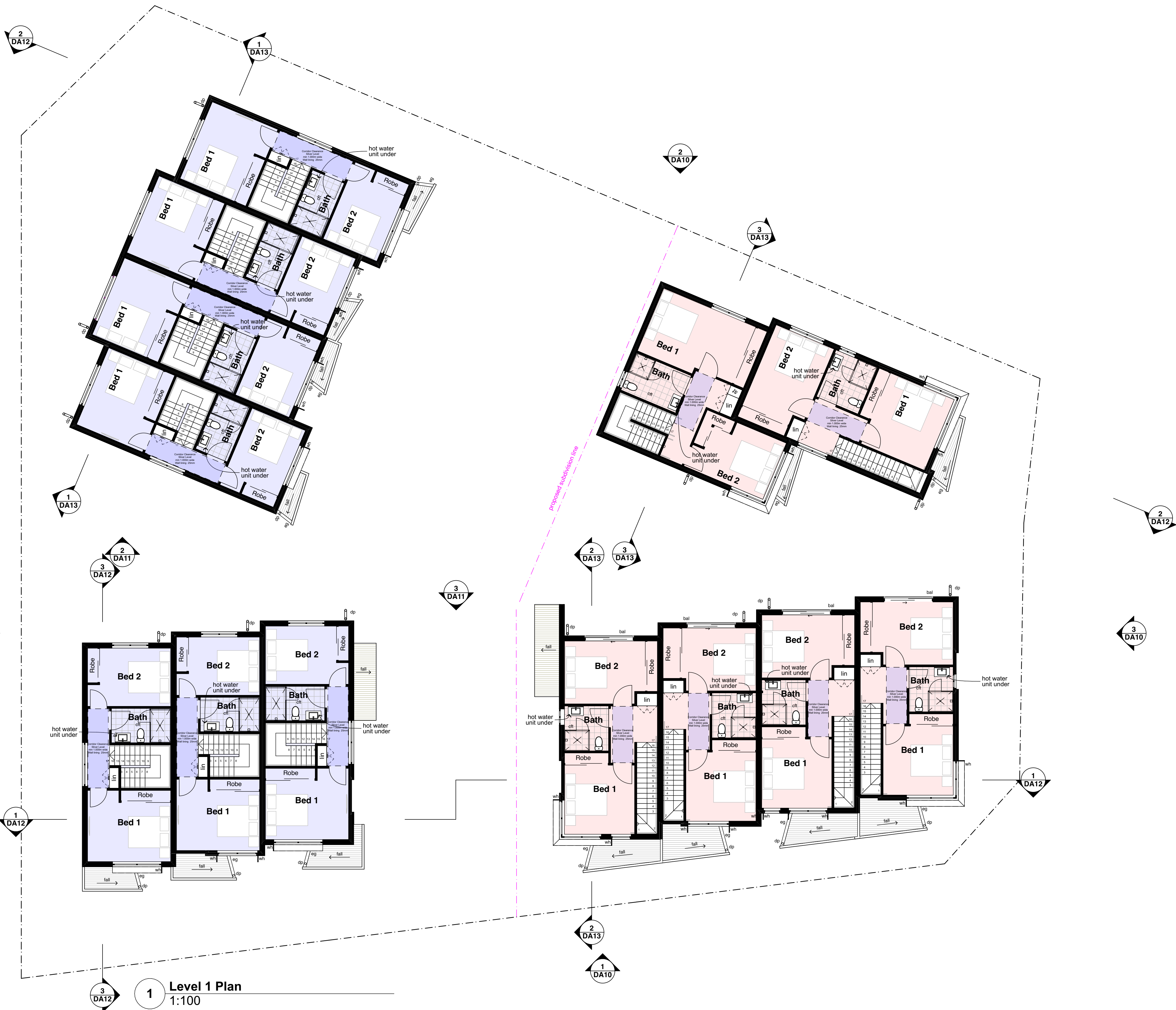
sik sink

shr shower

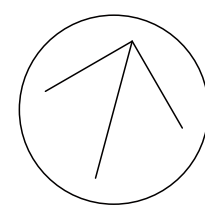
st store

wh window hood

wm washing machine space



1 Level 1 Plan
1:100



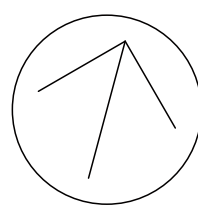
Architect:

- Legend** (roof plans)
- note: drawing may not contain all items listed below
- ap access panel
 - bc barge capping
 - dp downpipe
 - eg eaves gutter
 - ex existing
 - fg flashing
 - gu gutter
 - mdr metal deck roof sheeting
 - of overflow
 - pc parapet capping
 - pv photovoltaic cells
 - rrc roof ridge capping
 - rwh rainwater head
 - sk skylight/skytube
 - tf tray flashing
 - vg valley gutter
 - vof vertical overflow
 - vp vent pipe

- note:**
- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
 - gutter on brackets as specified.
 - roof safety system to be installed. refer to specification
 - provide gutter-guards to all guttering throughout *refer to reference specification for group homes' construction adnc august 2012*
 - metal roof sheeting to comply with AS1562.1
 - gutters, downpipes and flashing must comply with AS/NZ 2179.1 and AS1273 and not contain any lead for potable water supplies. The roof water is not proposed to be used for potable water supply.
 - down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5
 - the fire hazard properties of materials used must comply with the following:
 - (a) sacking-type materials used in the roof must have a flammability index not greater than 5.
 - (b) flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4254.



1 Roof Plan
1:100



P24	09/01/2025	Client Coordination	Project Architect:
			Stanton Dahl Architects
			Ph: (02) 8544 5200
Rev	Date	Issue	Landscape Consultant:
			Botanique Design
			Mod: 0404 887 620

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Electrical, Mechanical, Hydraulic, Structural Consultant:
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Ph: (02) 8544 1683

Architect:

Stanton Dahl Architects

Project:
General Housing Development
at
31-37 Phillip Street, Raymond Terrace

Title:
Roof Plans

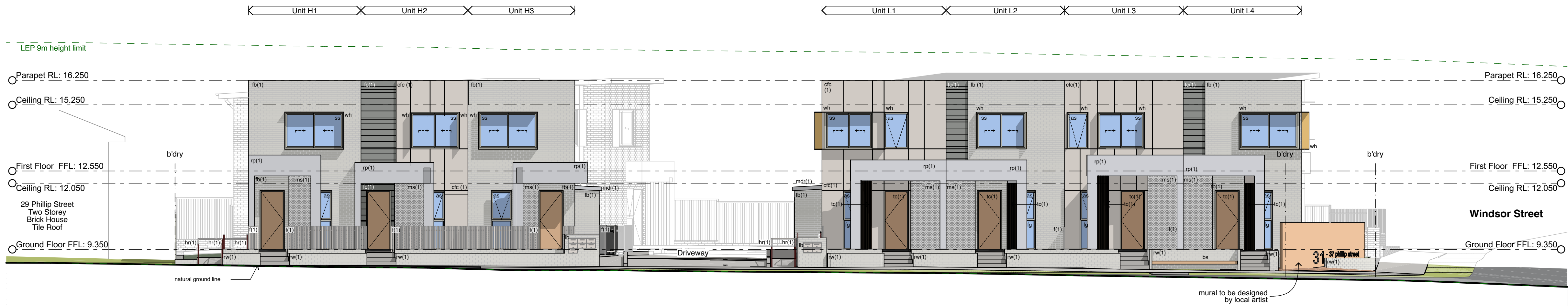
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Raymond Terrace_subd

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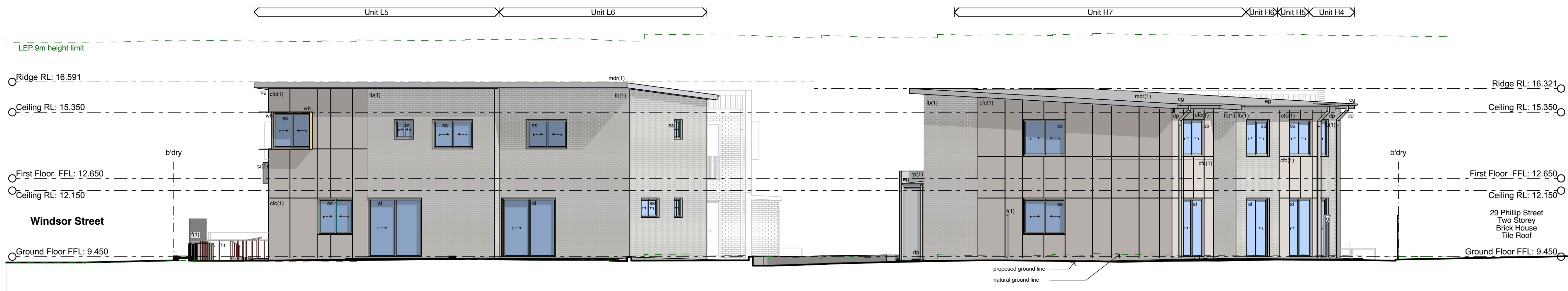
Status: Preliminary Development Application Issue

Date:	Scale:	S/d job no:	Project no:
16/1/2025	1:100 @ A1	##-##-##	2881.23
Stage:	Drawn:	Checked:	Approved:
	MP/RS/RC	ML/AT	ML/AT
	Sheet:		Rev:

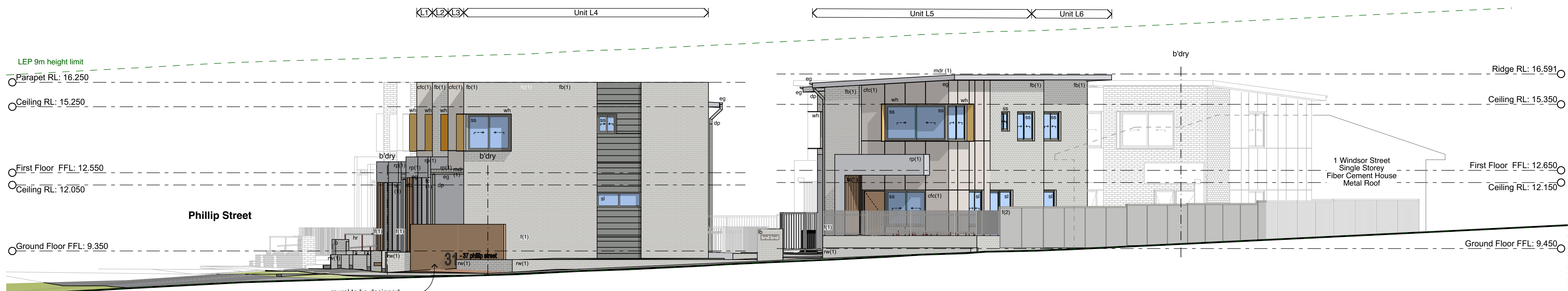
DA09 9 of 33 P24



1 South Elevation (Phillip Street)
1:100



2 North Elevation
1:100



3 East Elevation (Windsor Street)
1:100

Legend (elevation & sections)
note: drawing may not contain all items listed below

alw	aluminium framed window
as	awning sash window
clc(1)	compressed fibre cement (type)
conc.	concrete
dp	downpipe
eg	eaves gutter
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fc(1)	fibre cement (type)
fd	finished ceiling level
fl	finished floor level
fg	fixed glass
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
lb	letterbox
mc(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
ms(1)	metal screen (type)
ocf	off form concrete
p(1)	paint (type)
pbd	plasterboard
rp(1)	render & paint finish (type)
rp(2)	render & paint finish (type)
rw(1)	retaining wall (type)
sl	sliding door
ss	sliding sash window
tc	timber cladding (type)

Fence Type	
ft(1)	1m high powdercoated metal slatted fence (vertical)
ft(2)	1.8m high colorbond fence



Fibre Cement Cladding - fc (1)



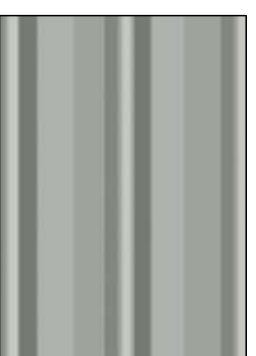
Compressed Fibre Cement Cladding - cfc (1)



Face Brick - fb (1), rw (1)



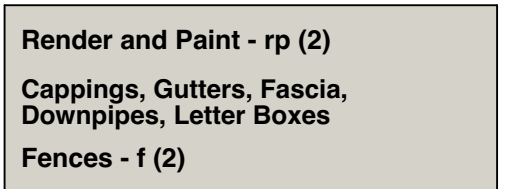
Timber Cladding - tc (1)



Metal Roof Sheetting - mdr (1)

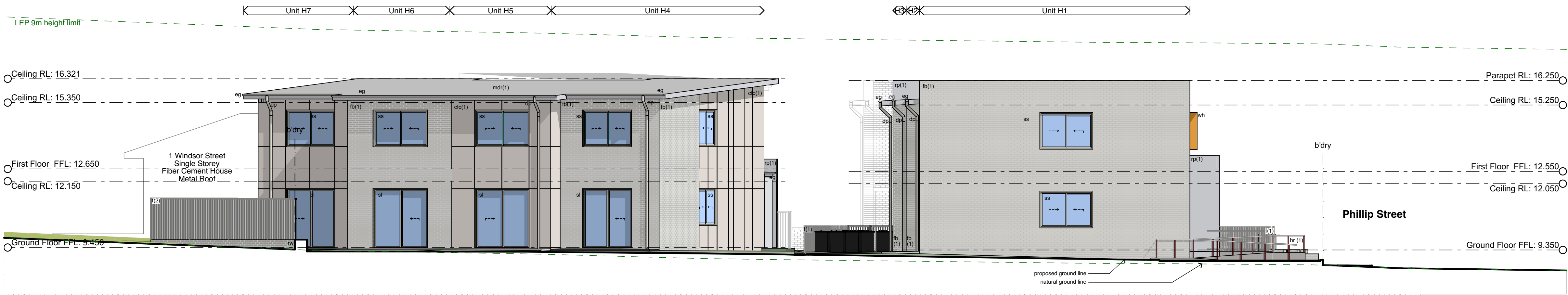


Render and Paint - rp (1)
Fences - f (1)

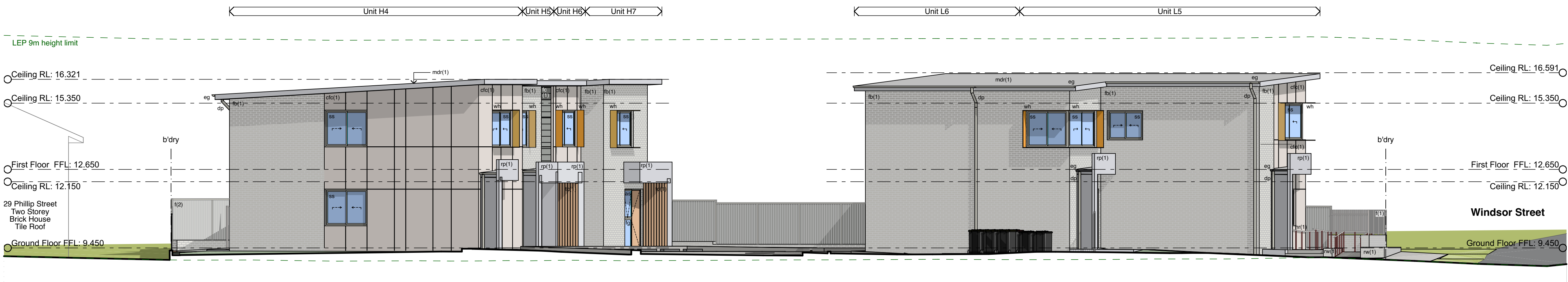


Render and Paint - rp (2)
Cappings, Gutters, Fascia, Downpipes, Letter Boxes
Fences - f (2)

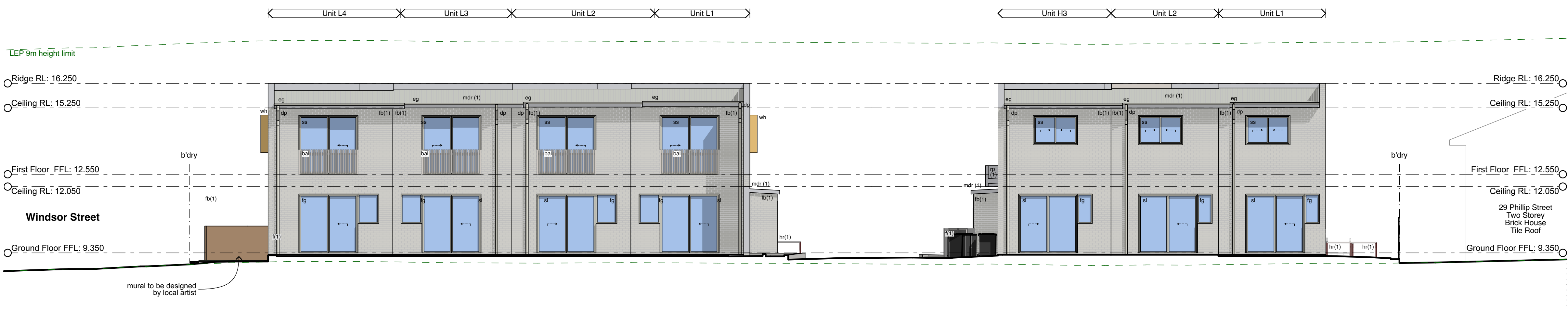




1 West Elevation
1:100



2 South Elevation (Block A)
1:100



3 North Elevation (Block B)
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

alw	aluminium framed window
as	awning sash window
cfc(1)	compressed fibre cement (type)
conc.	concrete
dp	downpipe
eg	eaves gutter
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fc(1)	fibre cement (type)
fd	finished ceiling level
fl	finished floor level
fg	fixed glass
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
lb	letterbox
mc(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
ms(1)	metal screen (type)
ofc	off form concrete
p(1)	paint (type)
pbd	plasterboard
rp(1)	render & paint finish (type)
rp(2)	render & paint finish (type)
rw(1)	retaining wall (type)
sl	sliding door
ss	sliding sash window
tc	timber cladding (type)

Fence Type	
ft(1)	1m high powdercoated metal slatted fence (vertical)



Fibre Cement Cladding - fc (1)



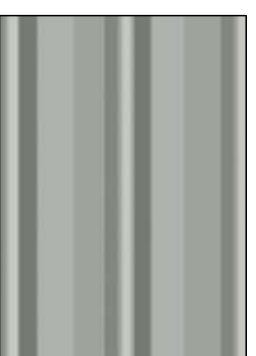
Compressed Fibre Cement Cladding - cfc (1)



Face Brick - fb (1), rw (1)



Timber Cladding - tc (1)



Metal Roof Sheetting - mdr (1)

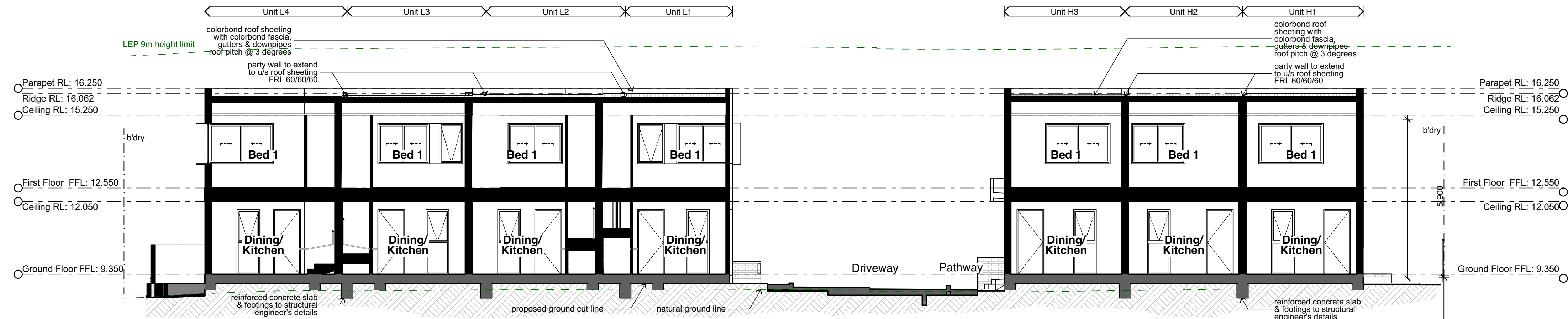


Render and Paint - rp (1)
Fences - f (1)



Render and Paint - rp (2)
Cappings, Gutters, Fascia, Downpipes, Letter Boxes
Fences - f (2)

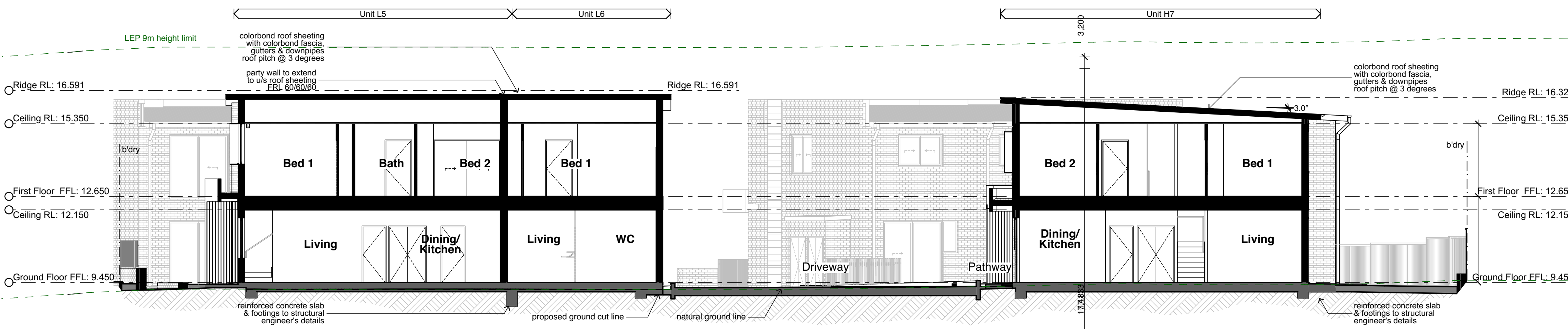




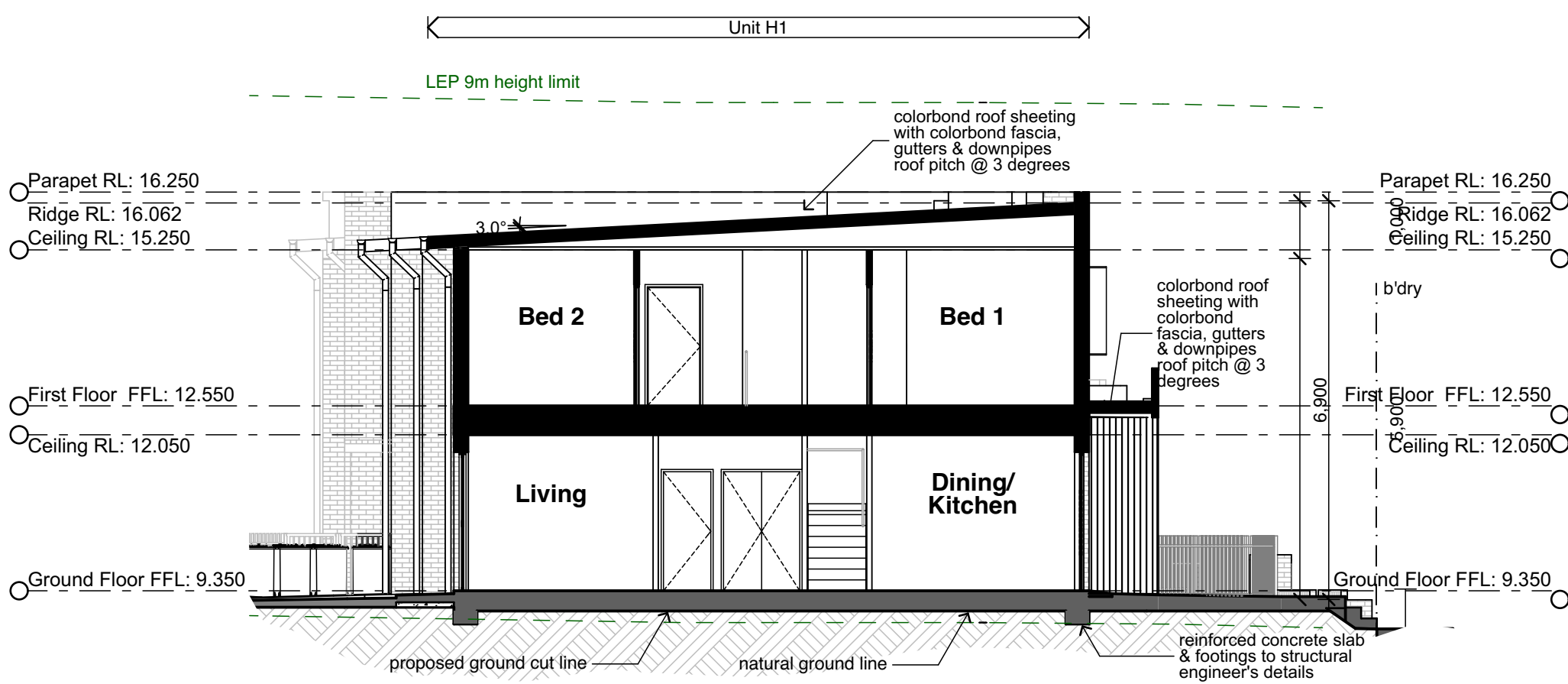
Legend (elevation & sections)
note: drawing may not contain all items listed below

- alw aluminium framed window
- as awning sash window
- cf(1) compressed fibre cement (type)
- conc. concrete
- dp downpipe
- eg eaves gutter
- ex. existing
- f fixed sash window
- fb(1) face brickwork (type)
- fc(1) fibre cement (type)
- fd finished ceiling level
- fl finished floor level
- fg fixed glass
- ft(1) fence (type)
- gl ground line
- gt gate
- hr(1) handrail (type)
- lb letterbox
- mc(1) metal cladding (type)
- mdr(1) metal deck roof (type)
- ms(1) metal screen (type)
- o/c off form concrete
- p(1) paint (type)
- pbd plasterboard
- rp(1) render & paint finish (type)
- rp(2) render & paint finish (type)
- rw(1) retaining wall (type)
- sl sliding door
- ss sliding sash window
- tc timber cladding (type)

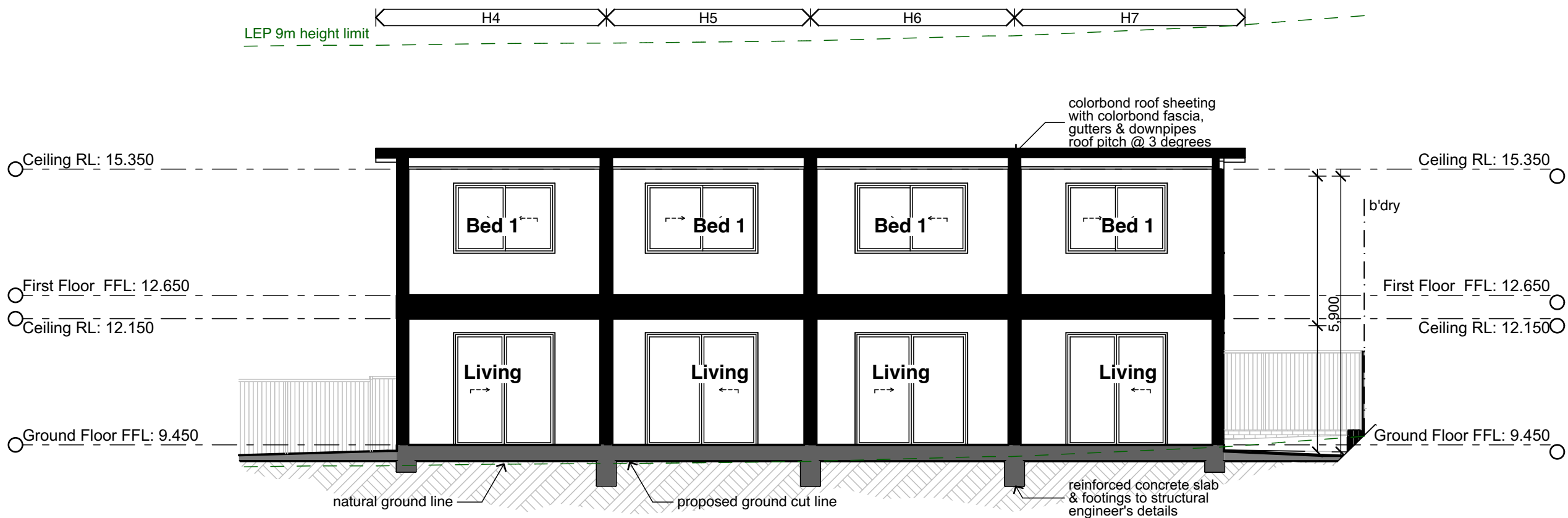
- Fence Type
- ft(1) 1m high powdercoated metal slatted fence (vertical)
 - ft(2) 1.8m high colorbond fence



2 North East Section
1:100



3 Hume A West Section
1:100

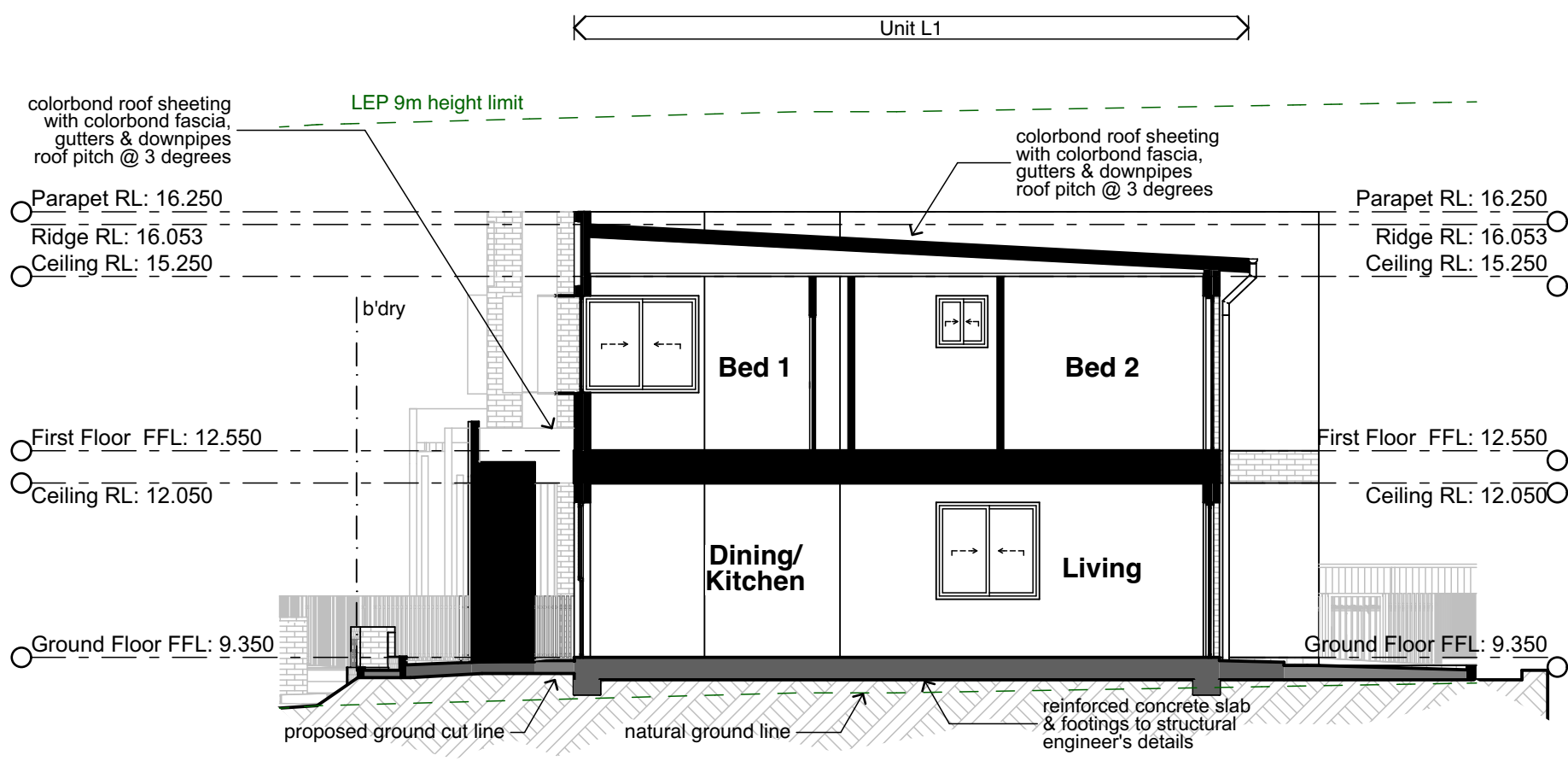


Legend (elevation & sections)
note: drawing may not contain all items listed below

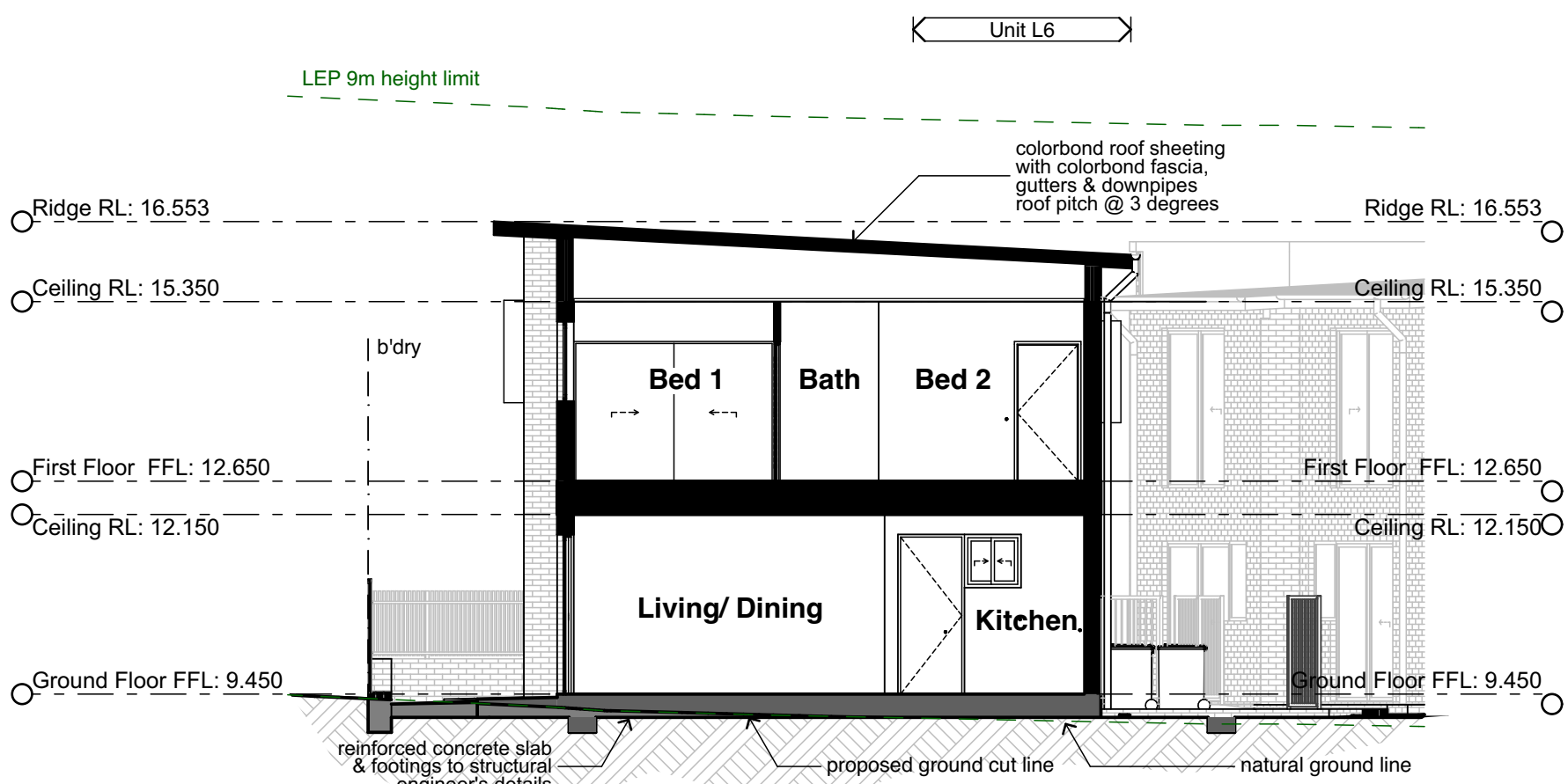
alw	aluminium framed window
as	awning sash window
cfc(1)	compressed fibre cement (type)
conc.	concrete
dp	downpipe
eg	eaves gutter
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fc(1)	fibre cement (type)
fd	finished ceiling level
fl	finished floor level
fg	fixed glass
ft(1)	fence (type)
gl	ground line
gt	gate
hr(1)	handrail (type)
lb	letterbox
mc(1)	metal cladding (type)
mdr(1)	metal deck roof (type)
ms(1)	metal screen (type)
ofc	off form concrete
p(1)	paint (type)
pb	plasterboard
rp(1)	render & paint finish (type)
rp(2)	render & paint finish (type)
rw(1)	retaining wall (type)
sl	sliding door
ss	sliding sash window
tc	timber cladding (type)

Fence Type	
ft(1)	1m high powdercoated metal slatted fence (vertical)
ft(2)	1.8m high colorbond fence

1 Hume B South East Section
1:100



2 LAHC A East Section
1:100



3 LAHC B North West Section
1:100

Legend
shadow diagrams
note: drawing may not contain all items listed below

note:
shadows cast: proposed buildings

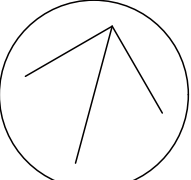
note:
shadows cast: existing neighbour buildings

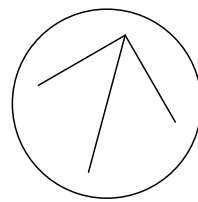
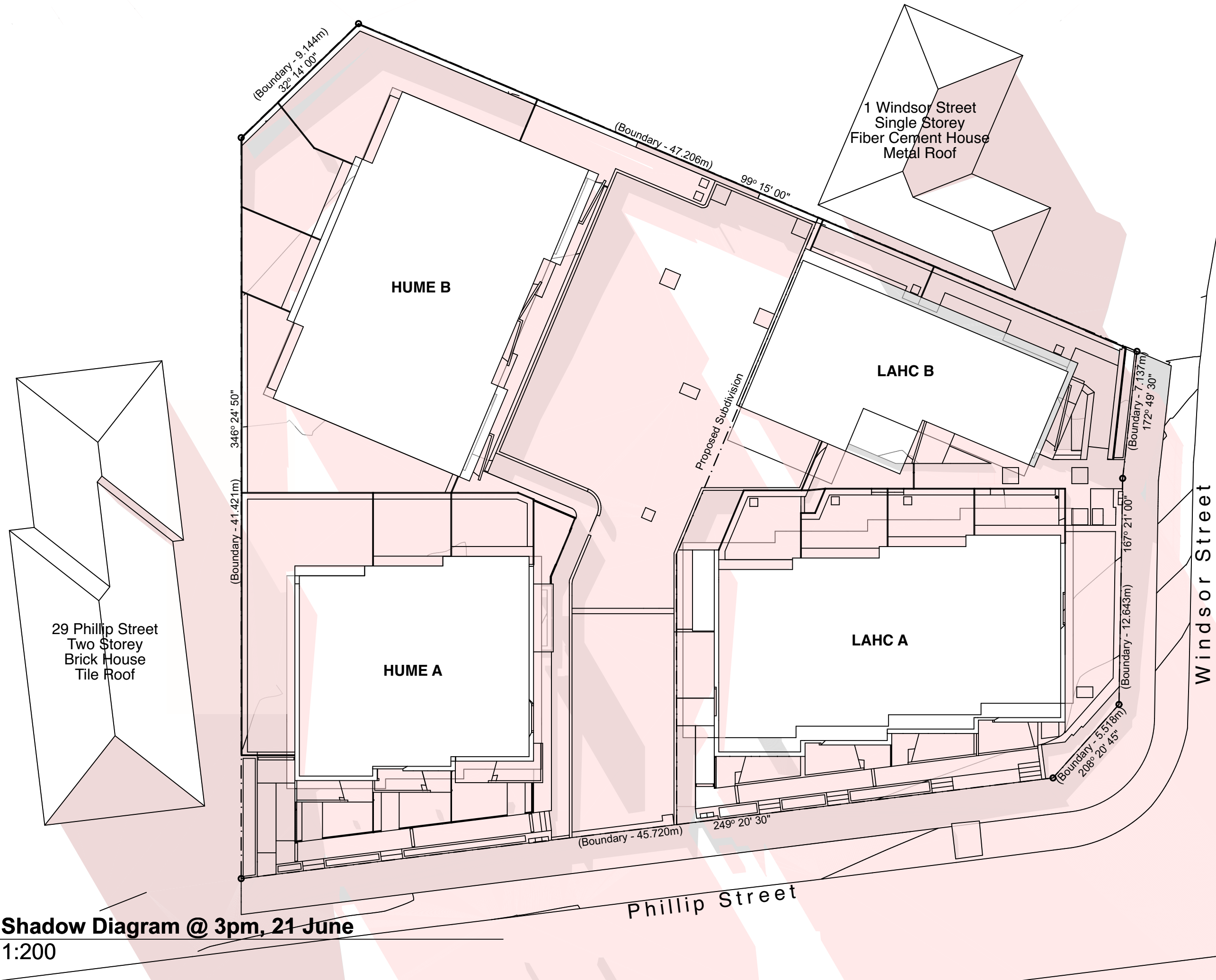
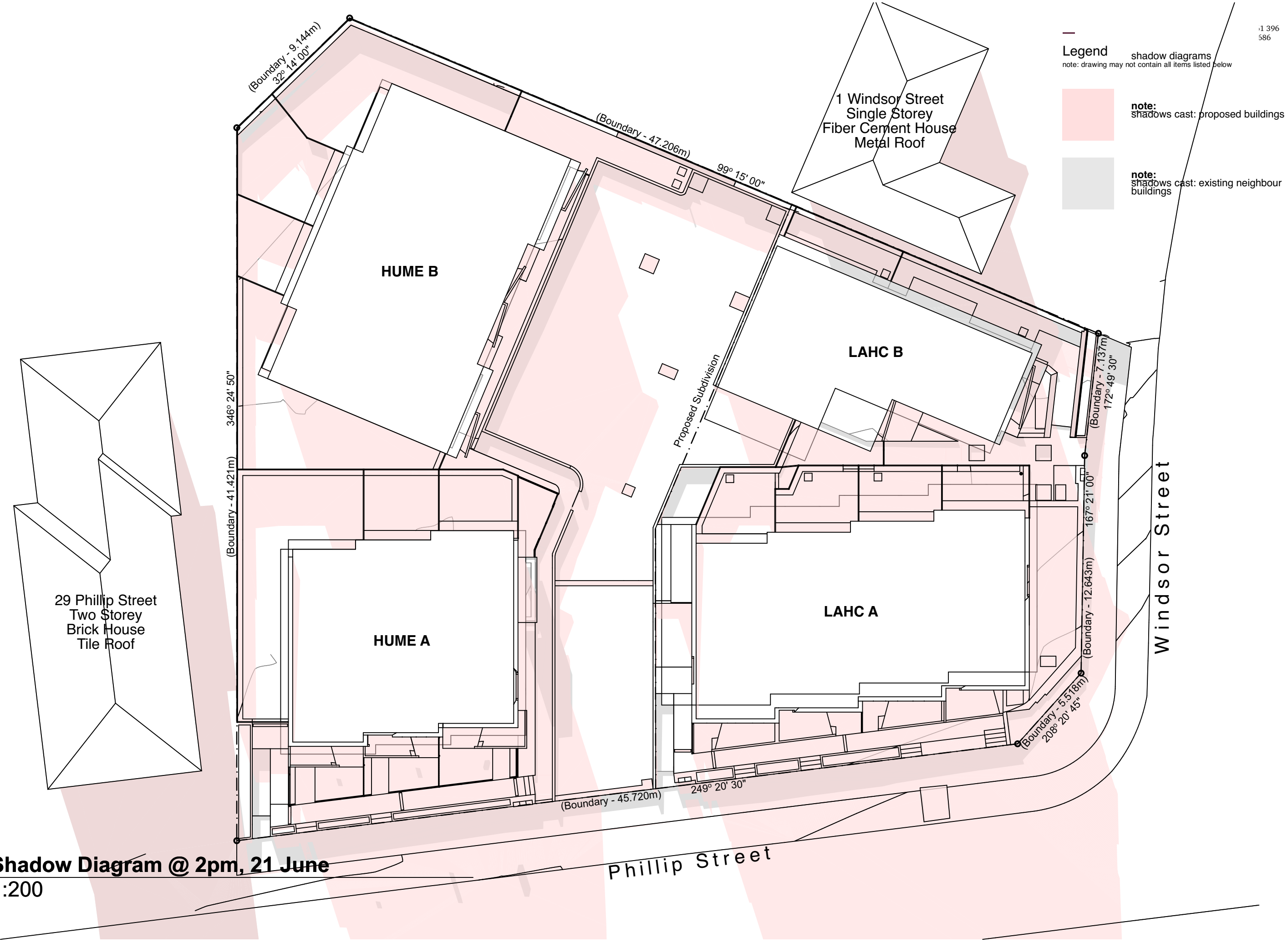
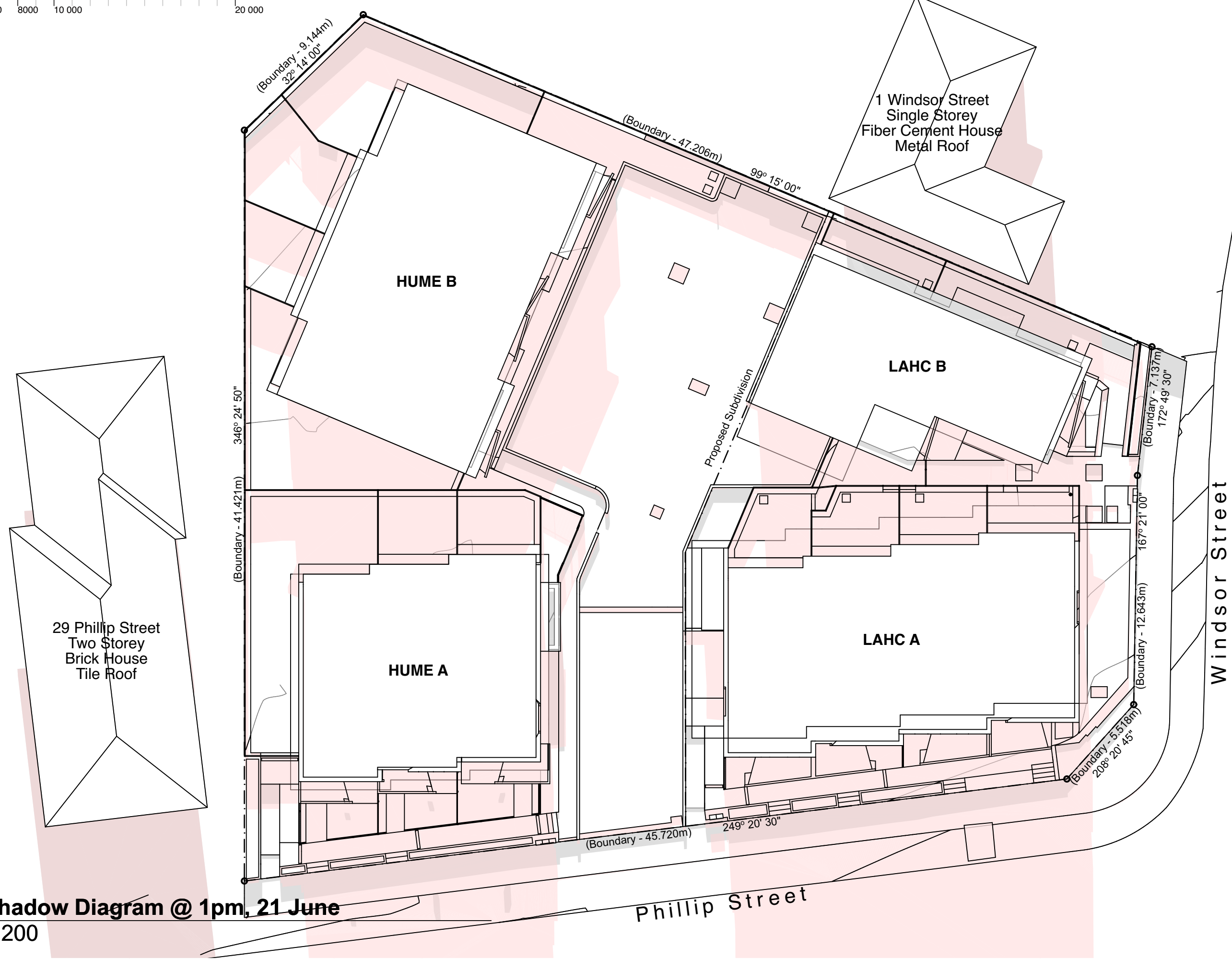
1 Shadow Diagram @ 9am, 21 June
1:200

2 Shadow Diagram @ 10am, 21 June
1:200

3 Shadow Diagram @ 11am, 21 June
1:200

8 Shadow Diagram @ 12pm, 21 June
1:200





P24	09/01/2025	Client Coordination
Project Architect:		
Stanton Dahl Architects		
Tel: (02) 8544 1683		
Landscape Consultant:		
Botanique Design		
Mob: 0404 887 620		
Rev	Date	Issue
do not scale drawings, check all dimensions on site, figured dimensions take precedence.		

Civil and Stormwater, Traffic, Flood Consultant:
Greenview Consulting
Ph: (02) 8544 1683
Electrical, Mechanical, Hydraulic, Structural Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Project:
General Housing Development
at
31-37 Phillip Street, Raymond
Terrace

Title:
Shadow Diagrams 2
File:
2881.23_31-37 Phillip St,
Raymond Terrace_subd

Plotted: 16/1/2025
11:28AM

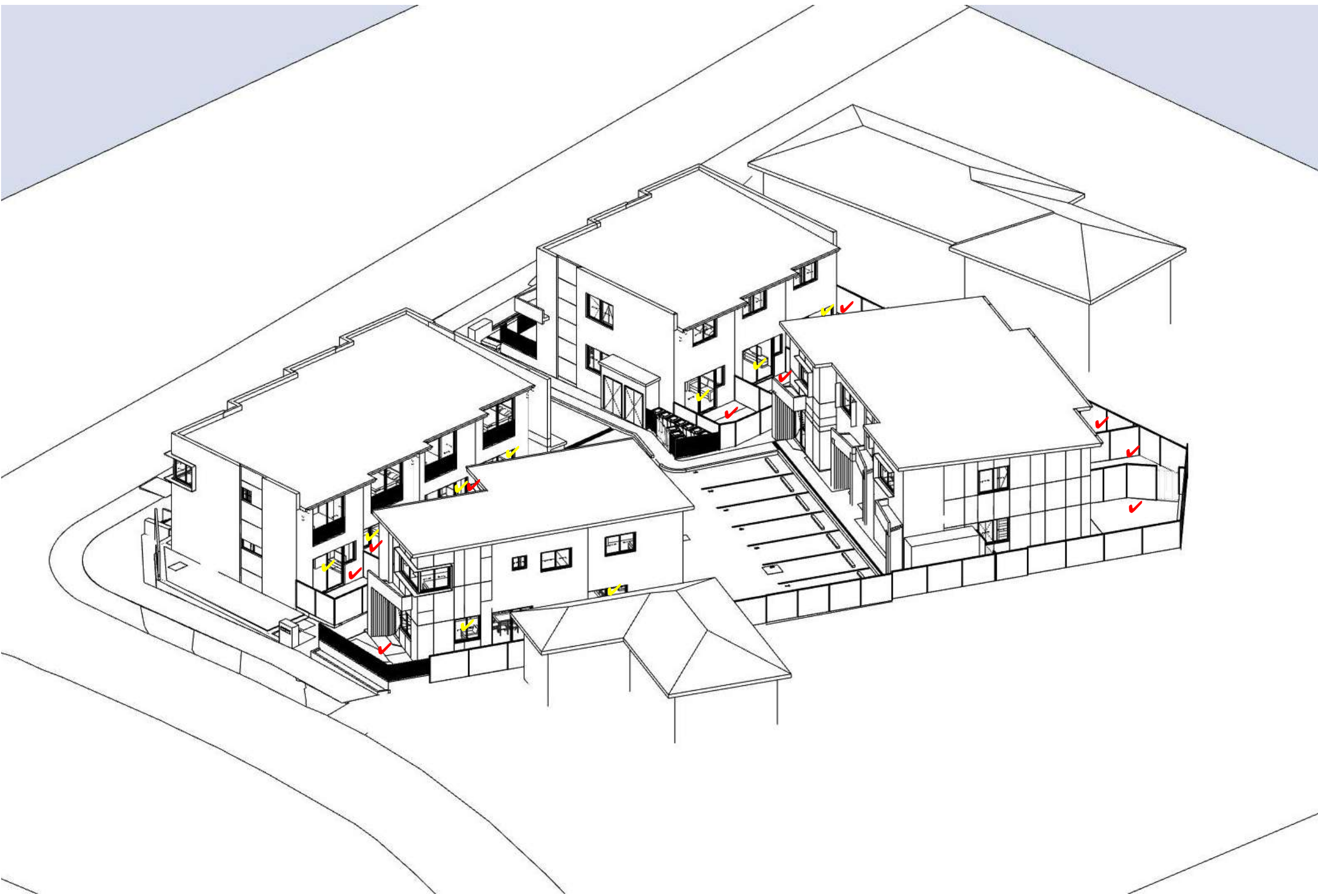
Status: Preliminary Development Application Issue
Date: 16/1/2025
Scale: 1:200 @ A1
Stage: MP/RS/RC
S/d job no: 2881.23
Drawn: ML/AT
Checked: ML/AT
Approved: ML/AT
Rev: P24
DA15 15 of 33

Legend views from sun
note: drawing may not contain all items listed below

- ✓ sunlight to living area
✓ sunlight to private open space



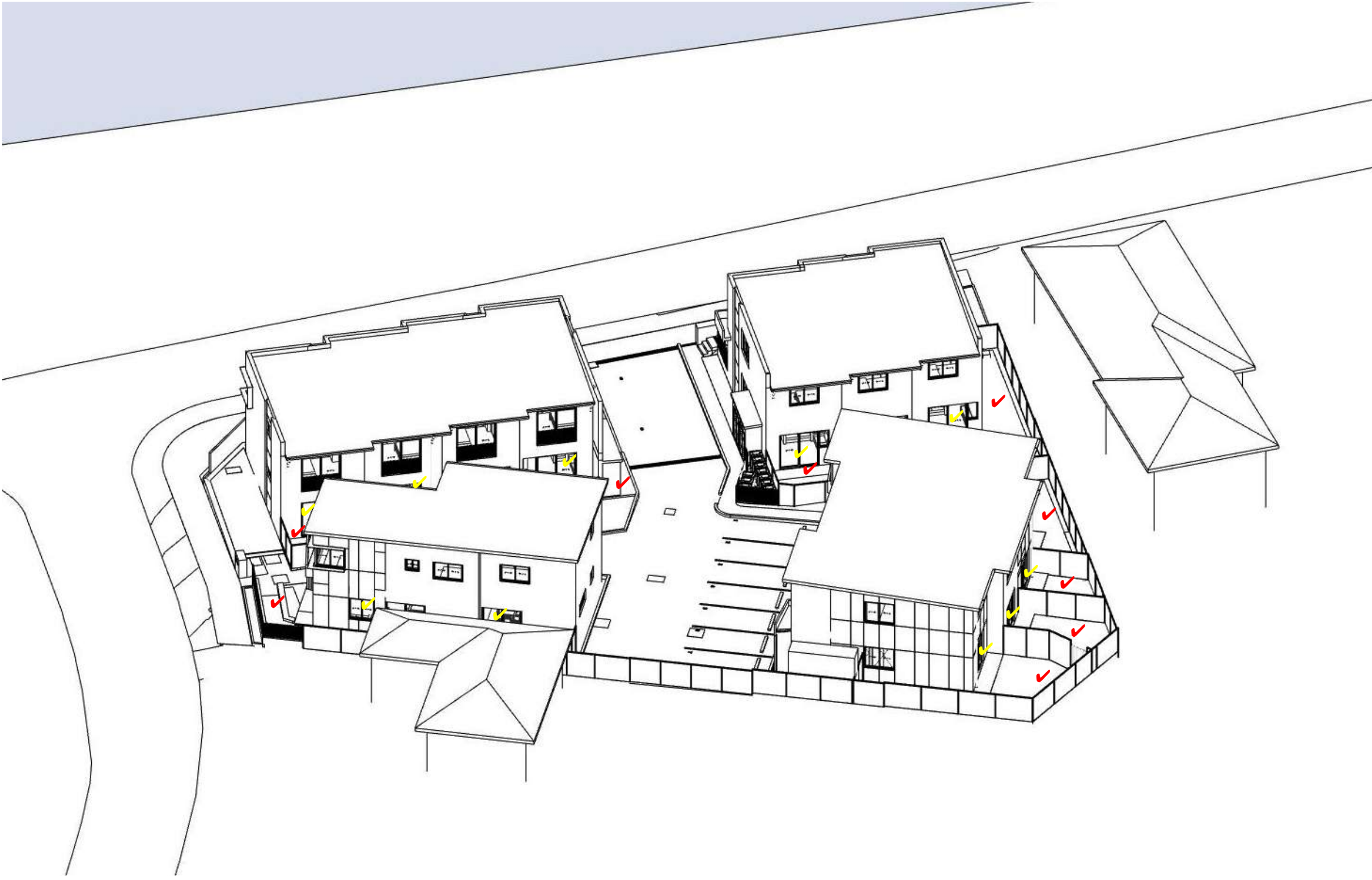
1 View from the Sun - 9am, June 21
not to scale



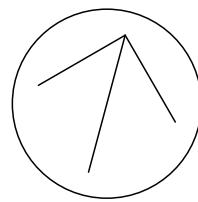
2 View from the Sun - 10am, June 21
not to scale



3 View from the Sun - 11am, June 21
not to scale



4 View from the Sun - 12pm, June 21
not to scale



Legend views from sun
note: drawing may not contain all items listed below
✓ sunlight to living area
✓ sunlight to private open space



1 View from the Sun - 1pm, June 21
not to scale



2 View from the Sun - 2pm, June 21
not to scale



3 View from the Sun - 3pm, June 21
not to scale

Living Areas - Hume

Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit H1	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit H2	Y	Y	Y	N	N	N	Y	3 hrs	Y
Unit H3	Y	Y	Y	Y	Y	N	N	4.5 hrs	Y
Unit H4	N	N	N	N	Y	Y	Y	2.5 hrs	Y
Unit H5	N	N	N	Y	Y	Y	Y	3.5 hrs	Y
Unit H6	N	N	N	Y	Y	Y	Y	3.5 hrs	Y
Unit H7	N	N	N	Y	Y	Y	Y	3.5 hrs	Y

The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9 am and 3 pm on the winter solstice (June 21)

Living Areas - LAHC

Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit L1	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit L2	N	Y	Y	N	N	N	Y	2.5 hrs	Y
Unit L3	Y	Y	N	Y	N	N	N	2.5 hrs	Y
Unit L4	Y	Y	Y	Y	N	N	N	3.5 hrs	Y
Unit L5	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit L6	N	Y	Y	Y	Y	Y	Y	5.5 hrs	Y

The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9 am and 3 pm on the winter solstice (June 21)

Private Open Space - Hume

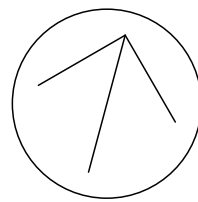
Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit H1	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit H2	Y	Y	Y	N	N	N	Y	3 hrs	Y
Unit H3	Y	Y	Y	Y	Y	N	N	4.5 hrs	Y
Unit H4	N	N	Y	Y	Y	Y	Y	4.5 hrs	Y
Unit H5	N	Y	Y	Y	Y	Y	Y	5.5 hrs	Y
Unit H6	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit H7	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y

The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9 am and 3 pm on the winter solstice (June 21)

Private Open Space - LAHC

Solar Access	9am	10am	11am	12pm	1pm	2pm	3pm	Total	Complies
Unit L1	N	N	N	Y	Y	Y	Y	3.5 hrs	Y
Unit L2	N	Y	Y	N	N	N	Y	2.5 hrs	Y
Unit L3	Y	Y	N	N	N	N	N	1.5 hrs	N
Unit L4	Y	Y	Y	Y	N	N	N	3.5 hrs	Y
Unit L5	Y	Y	Y	Y	Y	Y	Y	6 hrs	Y
Unit L6	N	N	N	N	Y	Y	Y	2.5 hrs	Y

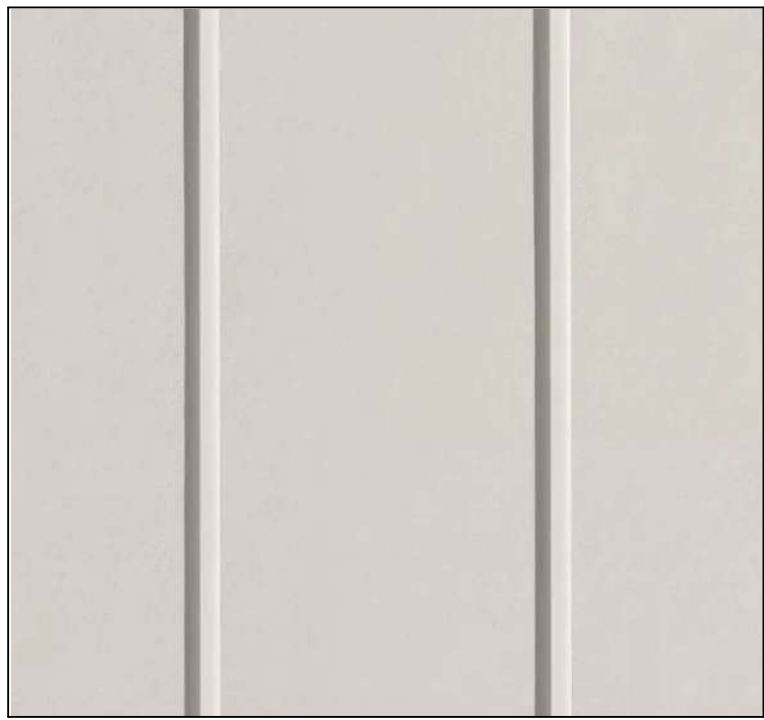
The living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9 am and 3 pm on the winter solstice (June 21)



External Finishes Selection
31-37 Phillip Street, Raymond Terrace,
NSW



Face Brick - fb(1), rw(1)



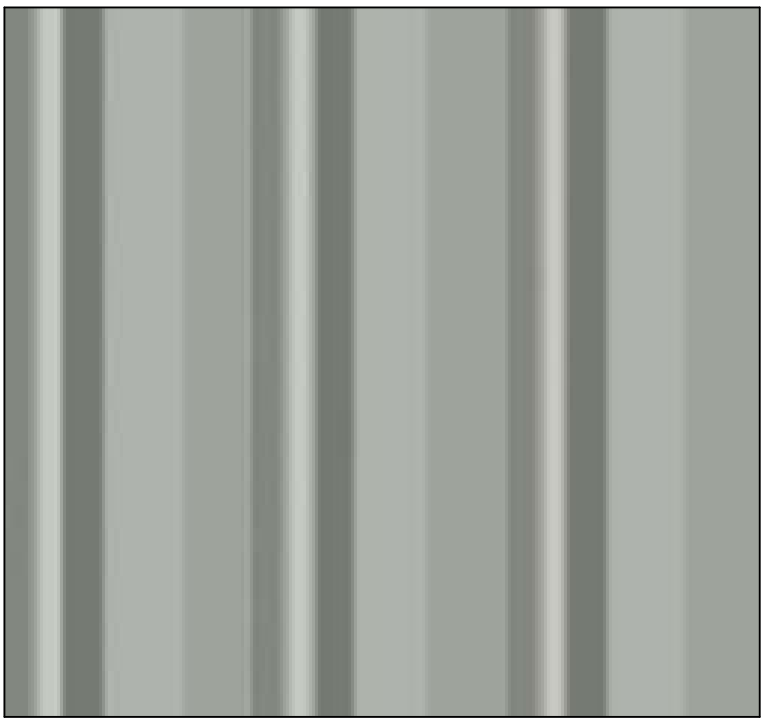
Compressed Fibre Cement Cladding - cfc(1)



Fibre Cement Cladding - fc(1)



Timber Cladding- tc(1)



Metal Roof Sheetting - mdr(1)

Render and Paint - rp(1)
Fences - f(1)

Render and Paint - rp(2)
Cappings, Gutters, Fascia, Downpipes, Letter Boxes
Fences - f(2)

Sunshades

Sunshades

Sunshades

- face brick - fb(1)
- compressed fibre cement cladding - cfc(1)
- fibre cement cladding - fc(1)
- render and paint - rp(1)
- metal screening - ms(1)
- fences - f(1)
- timber cladding - tc(1)
- retaining wall - rw(1)



- face brick - fb(1)
- fibre cement cladding - fc(1)
- metal roof sheetting - mdr(1)
- fences - f(2)

